



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100506135-002

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Stuart Hannah Architectural Services		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Stuart	Building Name:	
Last Name: *	Hannah	Building Number:	9
Telephone Number: *	07960 407 712	Address 1 (Street): *	Bonaly Brae
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	United Kingdom
		Postcode: *	EH13 0QF
Email Address: *	stuarthannah12@yahoo.com		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	Shamim	Building Number:	25
Last Name: *	Rahman	Address 1 (Street): *	Cluny Gardens
Company/Organisation		Address 2:	
Telephone Number: *	07868727526	Town/City: *	Edinburgh
Extension Number:		Country: *	United Kingdom
Mobile Number:	07868727526	Postcode: *	EH10 6BH
Fax Number:			
Email Address: *	shamy@blueyonder.co.uk		

Site Address Details

Planning Authority:	City of Edinburgh Council
Full postal address of the site (including postcode where available):	
Address 1:	59 GILMORE PLACE
Address 2:	TOLLCROSS
Address 3:	
Address 4:	
Address 5:	
Town/City/Settlement:	EDINBURGH
Post Code:	EH3 9NT

Please identify/describe the location of the site or sites

--	--

Northing	672667	Easting	324643
----------	--------	---------	--------

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Change of Use from House to Short Stay Visitor Accommodation.

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please see Supporting Statement.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☒ Yes ☐ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Correspondence from Littlejohns, on behalf of the owner and tenants, of 61 Gilmore Place. We did not consider that it would be required to consider the application for Planning Permission.

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Supporting Statement, dated 30 June 2022. Correspondence from Littlejohns. Drawing No. 640-01 Location Plan. Drawing No. 640-02 Ground Floor Plan. Drawing No. 640-03 First Floor Plan. Drawing No. 640-04 Second Floor Plan. Drawing No. 640-05 North Elevation. Drawing No. 640-06 South Elevation. Planning Application Supporting Statement dated 17 November 2021.

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21/06232/FUL

What date was the application submitted to the planning authority? *

25/11/2021

What date was the decision issued by the planning authority? *

01/04/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☒ Yes ☐ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant? *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Stuart Hannah

Declaration Date: 01/07/2022

Proposal Details

Proposal Name	100506135
Proposal Description	Change of Use
Address	59 GILMORE PLACE, TOLLCROSS, EDINBURGH, EH3 9NT
Local Authority	City of Edinburgh Council
Application Online Reference	100506135-002

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
Supporting Statement	Attached	A4
Neighbours letter	Attached	A4
640-01	Attached	A4
640-02	Attached	A3
640-03	Attached	A3
640-04	Attached	A3
640-05	Attached	A3
640-06	Attached	A3
Planning Application Covering Letter	Attached	A4
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-002.xml	Attached	A0

17 November 2021

City of Edinburgh Council
Planning Department
Waverley Court
4 East Market Street
Edinburgh
EH8 8BG.

Dear Sirs,

**CHANGE OF USE FROM HOUSE TO SHORT TERM VISITOR ACCOMMODATION
AT 59 GILMORE PLACE, EDINBURGH. EH3 9NT.**

Planning Permission (19/05987/FUL) was granted on 5 March 2020 to alter house and install 2 No. dormers. There are no proposals to further alter the property.

Historically, the property had been used as an HMO for a number of years with the licence only lapsing recently when the applicant decided to renovate the property.

The proposed use of the property would be for short term visitor accommodation. The operators' website and booking system will make it clear that the rooms are for short term accommodation with no private parking facilities available and for travel to be by the use of public transport.

The operator currently runs the same facilities, as for this proposal, at No. 57 Gilmore Place, Edinburgh. The proposal is for this business to operate on the same basis as No. 57 which has had a successful business plan for the last 3 years, including through the recent pandemic, where occupancy is generally at 95% and great deal of custom has to be turned away.

The business plan would operate on the following principals and all communication will highlight the same :

The rooms are for letting on a short term basis of generally 2/3 nights per room.

The rooms are for letting throughout the entire year.

The rooms are to be used for sleeping accommodation only.

The kitchen/dining facilities are provided for occupants to prepare their own breakfast.

There will be no group bookings and all rooms will be let individually.

Rooms will not be let to any person under the age of 25 years.

All neighbours will be provided with contacts numbers in case of any disturbance.

There is no private car parking on site and the accommodation is for customers using public transport to travel to and around the city.

Any customers bringing a private vehicle to the city will be advised to book alternative accommodation which provides parking facilities. The few customers who may still want to book this accommodation, with a private vehicle, will be directed to park at the car park at Tollcross, a 5 minute walk from the property.

As previously submitted, this proposal will be operated in line with the operating of No. 57 where during the last 3 years, 95% of custom have all travelled by public transport and there has not been any calls from neighbours regarding any disturbance.

As opposed to a traditional guest house or small hotel, the proposal is to provide rooms only with no facilities other than a communal dining area, principally to provide breakfast facilities. This proposal is more in line with current trends where visitors, to any city, are travelling by plane, train or bus to the city and using public transport during their visit. The current trend is also for visitors, to the city, to be seeking accommodation only and not the traditional guest house or small hotel with their facilities and services.

The property is located within an area suitable for this use and is currently surrounded by guest houses and letting rooms and is in a historically suitable location for guest houses.

There would be minimal impact on the amenity of the surrounding area. The nature of the proposed business is to let rooms only. There are no facilities to provide any kind of entertainment and the property would be used for sleeping accommodation only.

Given the general use of the adjoining properties in the location, it is not predominately a residential area with the majority of properties already in commercial use.

The property is situated in a location with existing good public transport access to the city centre and the proposal is also to encourage customers to use public transport to travel to the city.

There are no proposals to further alter the property, therefore, the change of use will have no impact on the quality, density or character of the area. The proposals will also have no impact on the amenity of the surrounding area.

The operators' website and booking system makes it clear that the property is located adjacent to the city centre with no private car parking, restrictions on any on-street car parking and the availability of good public transport across the city. It therefore encourages customers not to bring any private vehicles to the city and to use public transport.

The operator has provided a copy of their webpages and booking system to illustrate how the above points are communicated to any potential custom prior to booking.

There are numerous hotels and guest house located throughout the city which provide car parking and any visitors to the city who travel by private vehicles are well accommodated for. These proposals are not in competition with these businesses but to provide an alternative for visitors wishing to visit the city by public transport which is a much more current and common trend.

In conclusion, the proposals will provide a varied contribution to City of Edinburgh Council's need for additional rooms for visitors to the city, have considered and addressed any amenity and parking issues and will provide employment all year round, both directly and indirectly. The

proposals are also located within a suitable location where guest houses have currently, and historically, been located within the city.

Should you require any further information or have any queries, please do not hesitate to contact me.

Yours Faithfully

Stuart Hannah
for Stuart Hannah Architectural Services.

Enc.

STUART HANNAH Architectural Services
9 Bonaly Brae, Edinburgh. EH13 0QF

Telephone : 07960 407 712

30 June 2022

City of Edinburgh Council
Planning Review Board
Waverley Court
4 East Market Street
Edinburgh
EH8 8BG.

Dear Sirs,

LOCAL REVIEW OF PLANNING APPLICATION No. 21/06232/FUL.

**CHANGE OF USE FROM HOUSE TO SHORT TERM VISITOR ACCOMMODATION
AT 59 GILMORE PLACE, EDINBURGH. EH3 9NT.**

SUPPORTING STATEMENT

The above application for Planning Permission was refused on 1 April 2022.

The justification given by the City of Edinburgh Council was that the proposal was contrary to Local Development Plan Policy Hou 7 in respect of an Inappropriate Uses in Residential Areas, as the use of this large property as a short stay let will result in noise and disturbance which shall have a material detrimental effect of the living conditions and amenity of nearby residents.

Although Gilmore Place is identified as a residential area within the City of Edinburgh Council Local Development Plan, there is clearly a current, historical and future variety of uses within this locality and the area is a busy arterial route and not a quiet suburb street.

Indeed, City of Edinburgh Council have themselves identified the various uses within the locality and identified No. 61 as being the only residential property which may be affected by the proposals.

Other than the properties identified above, No. 63 is a church, No. 65 is a hotel and No. 43 is currently being developed as residential accommodation.

On the other side of Gilmore Place (even numbers), less than half the properties are still in residential use with the majority being used as various forms of guest house and hotels, within the block directly opposite only a single building is a residential property.

No. 59 (application site) has in fact not been used as a residential property for some consider time, but was used as a licensed HMO between 2008 to 2014. The property has not been used as a residential property since.

As noted, by City of Edinburgh Council, the property has its own private access which makes the property suitable for the proposed use.

Although City of Edinburgh Council have advised that this is a large property, we would submit that No. 43 may be considered a large property and No. 59 is no larger than any property within the area.

The economic benefits of the proposals would provide not only direct benefits to persons employed with the running and upkeep of the property but also the indirect benefit to the local community for the use of local services, restaurants and shops.

Regarding the impact on the amenity of the adjoining residential properties: -

Environmental Protection were consulted as part of the application for Planning Permission. Their comment only raised one concern that guests could use the garden area for smoking and playing music. The applicant has no intention in providing access to the rear garden for guests and a condition to this effect would be a far more reasonable consideration.

The letting agents, on behalf of the Landlord and Tenants, have advised that they have no concerns with the proposals and consider that the proposed use would not adversely affect them.

In conclusion, we would submit that the locality is not a quiet residential area, the proposals will provide a varied contribution to City of Edinburgh Council's need for additional rooms for visitors to the city and the amenity, provide an economic benefit to the locality and that the neighbouring residential property would not be adversely affected. Therefore, the refusal is unjustified as there are no justifiable grounds for a refusal.

Should you require any further information or have any queries, please do not hesitate to contact me.

Yours Faithfully

Stuart Hannah
for Stuart Hannah Architectural Services.

Fwd: Humble Request

From: SHAMIM RAHMAN (shamy@blueyonder.co.uk)

To: stuarthannah12@yahoo.com

Date: Thursday, 30 June 2022 at 13:31 BST

Sent from my iPad

Begin forwarded message:

From: Rebecca Dillon <rebecca@littlejohns.ltd.uk>
Date: 30 June 2022 at 13:07:22 BST
To: SHAMIM RAHMAN <shamy@blueyonder.co.uk>
Subject: RE: Humble Request

DEAR SIR/ MADAM,

WE WOULD LIKE TO SUPPORT MR RAHMAN'S APPLICATION FOR CHANGE OF USE TO A GUEST HOUSE FOR HIS PROPERTY AT 59 GILMORE PLACE, EDINBURGH, EH3 9NT. CONSIDERING THE OTHER THREE NEIGHBOURS ADJACENT TO US AND THE FOUR OTHERS DIRECTLY OPPOSITE ARE ALREADY OPERATING AS GUEST HOUSES WE DO NOT SEE THIS AS ADVERSELY AFFECTING US.

WITH MUCH THANKS AND APPRECIATION

Rebecca Dillon- Property Manager of 61 Gilmore Place, Edinburgh EH3 9NT via Littlejohns Ltd.

Tenants of 61 Gilmore Place, Edinburgh EH3 9NT

Landlord and owner of 61 Gilmore Place, Edinburgh EH3 9NT

Kind Regards

Rebecca

Rebecca Dillon | Property Manager

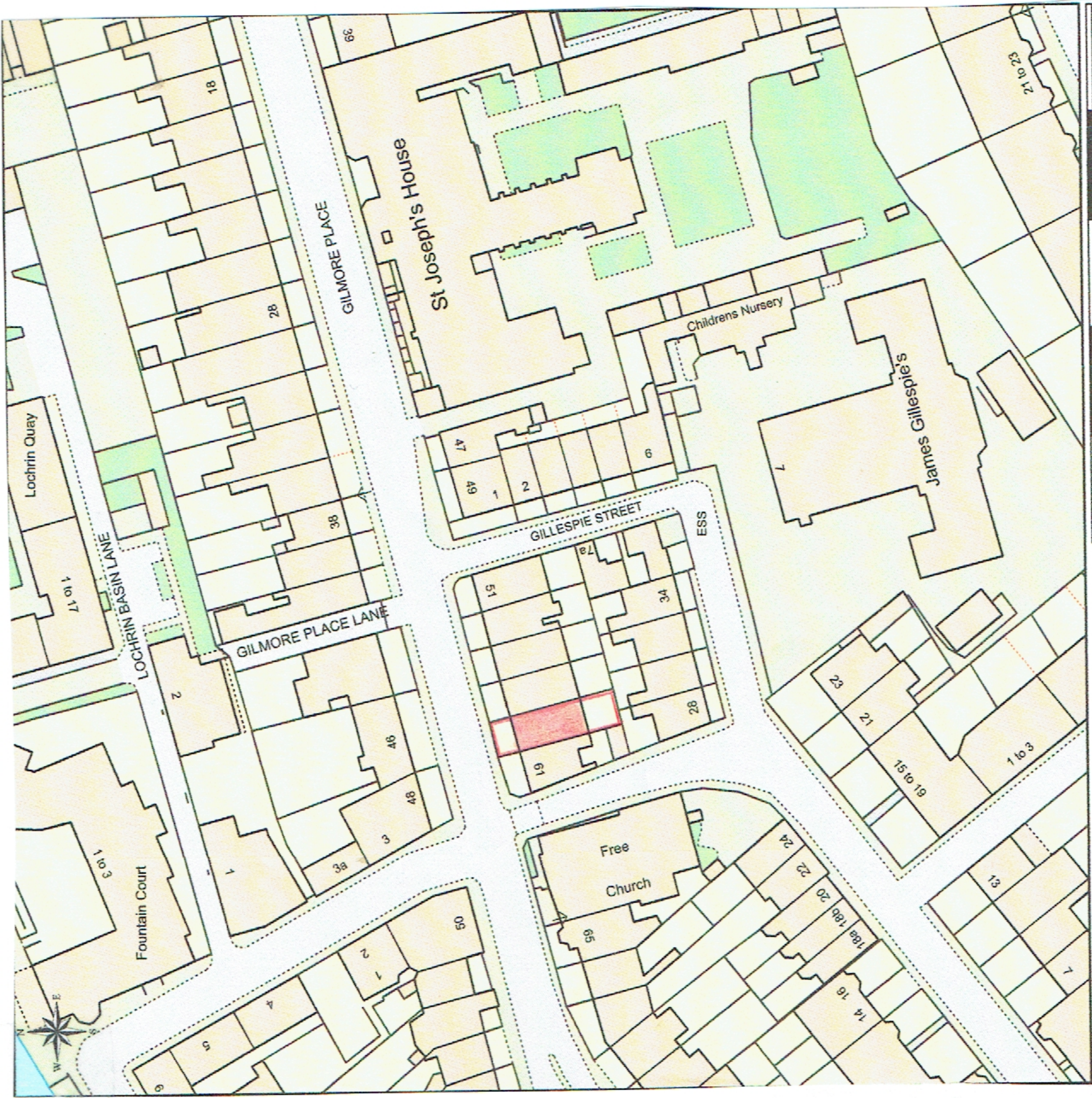


115 Lauriston Place, Edinburgh, EH3 9JG

Email: rebecca@littlejohns.ltd.uk | LARN: 1901001



Report a repair – Littlejohns Ltd

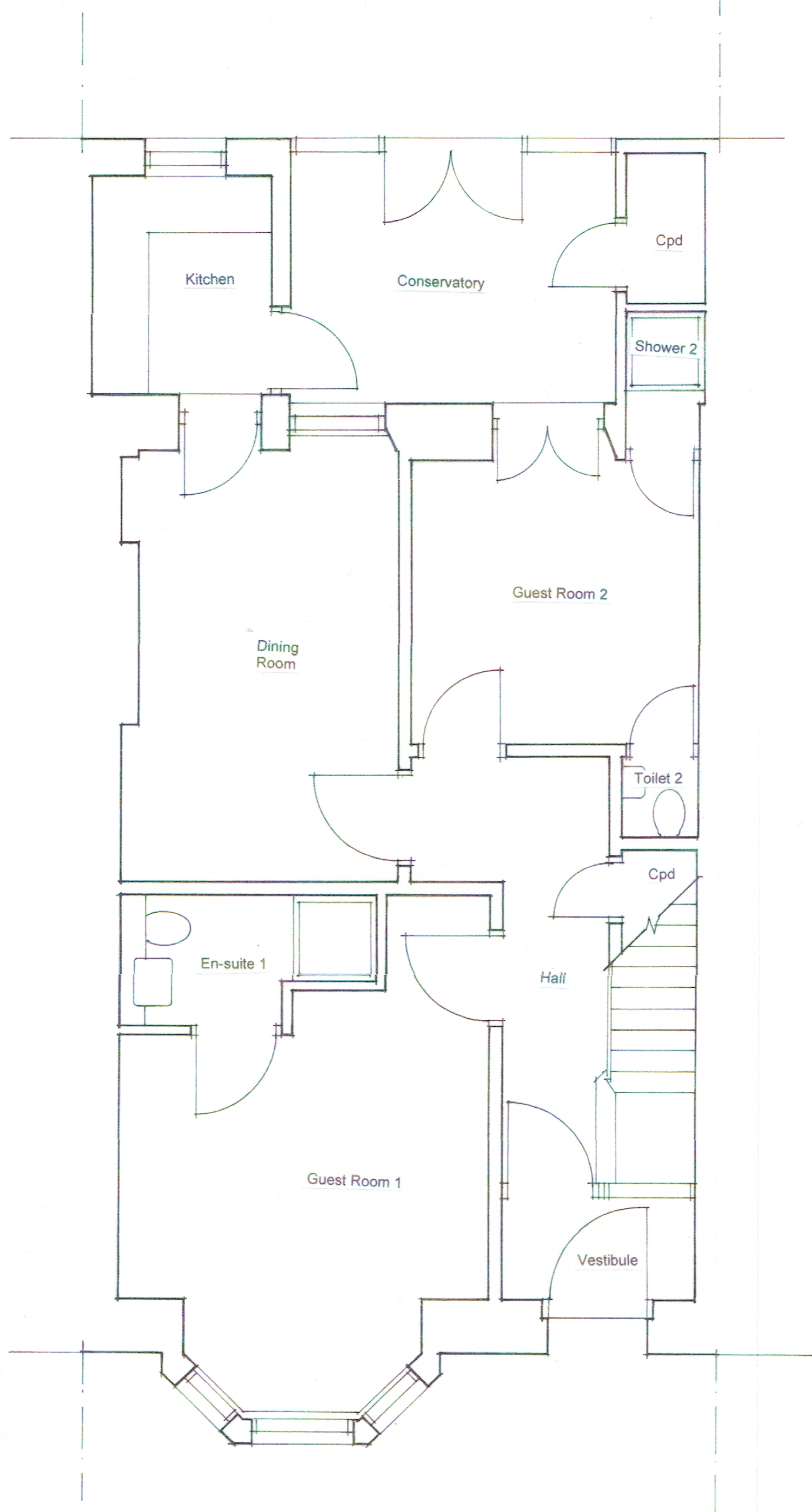


This Plan includes the following Licensed Data: OS MasterMap Colour PDF
Location Plan by the Ordnance Survey National Geographic Database and
incorporating surveyed revision available at the date of production.
Reproduction in whole or in part is prohibited without the prior permission of
Ordnance Survey. The representation of a road, track or path is no evidence of a
right of way. The representation of features, as lines is no evidence of a
property boundary. © Crown copyright and database rights, 2019. Ordnance
Survey 0100031673

Scale: 1:1250, paper size: A4

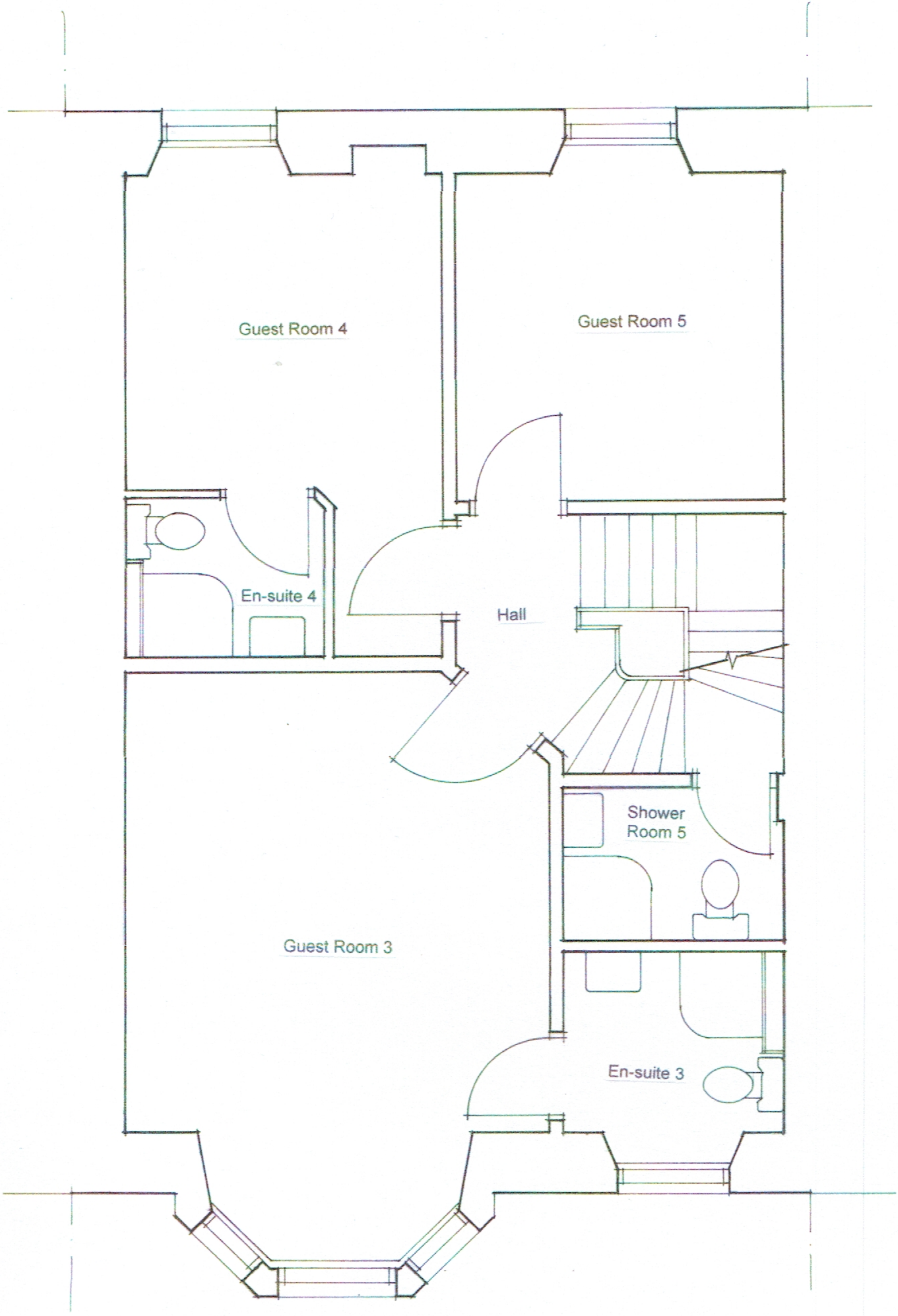
Location Plan 1.1250

Rev.	Date	Amendment
Client Mr. Shamim Rahman		
Address 59 Gilmore Place, Edinburgh. EH3 9NT.		
Project Change of Use from House to Short Term Visit Accommodation		
Title Location Plan and Site Plan		
Scale: 1:50 Dwg. No. 640/01 Date: Sep. 2021		
STUART HANNAH Architectural Services 9 Bonaly Brae, Edinburgh. EH13 0QF		
Tel: 07960 407 712 stuarthannah12 @yahoo.com		



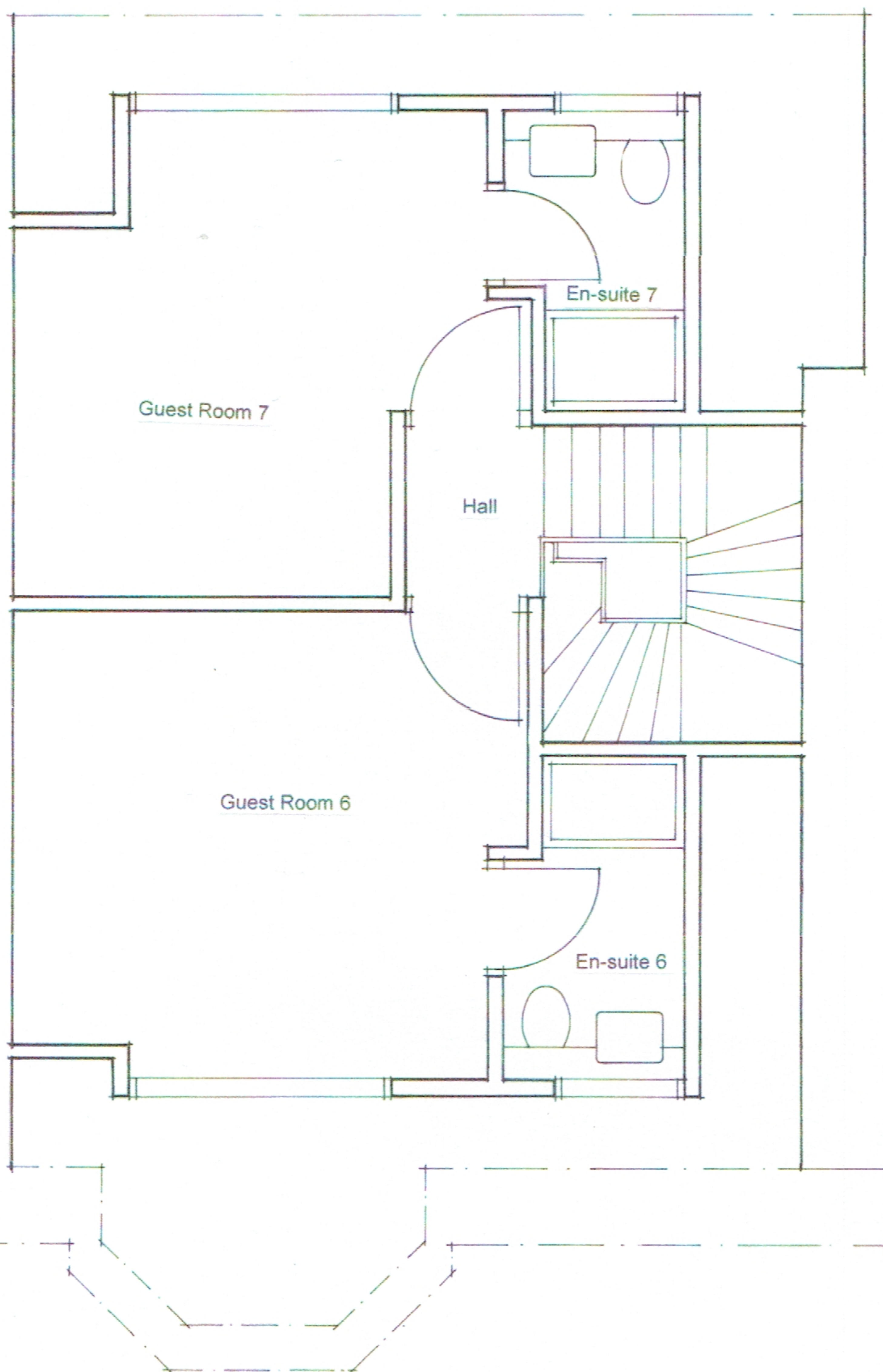
Ground Floor Plan

Rev.	Date	Amendment
Client Mr. Shamim Rahman		
Address 59 Gilmore Place, Edinburgh. EH3 9NT.		
Project Change of Use from House to Short Term Visit Accommodation		
Title Ground Floor Plan		
Scale: 1.50 Dwg. No. 640/02 Date: Sep. 2021		
STUART HANNAH Architectural Services 9 Bonaly Brae, Edinburgh. EH13 0QF		
Tel: 07960 407 712 stuarthannah12 @yahoo.com		



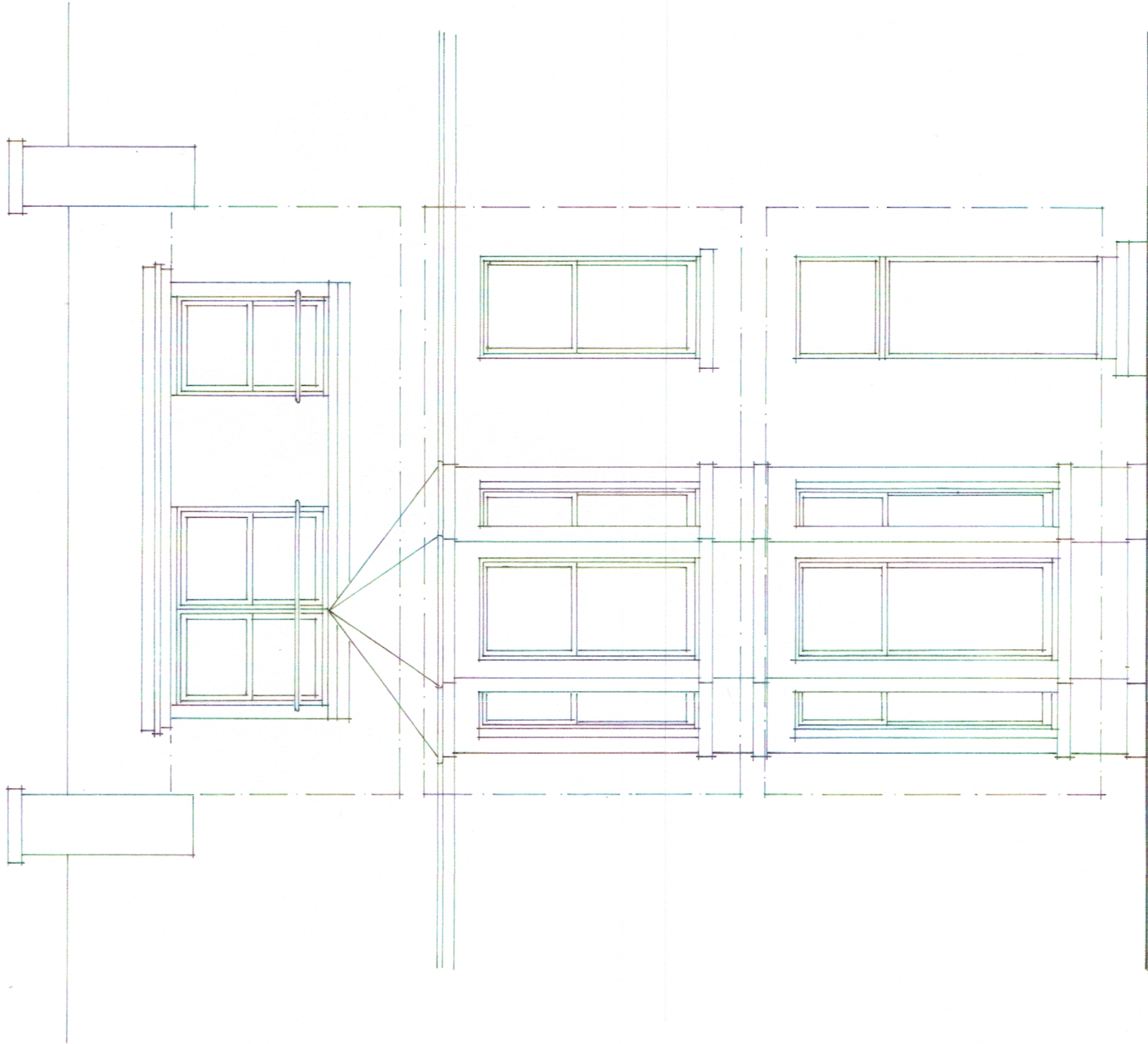
First Floor Plan

Rev.	Date	Amendment
Client		Mr. Shamim Rahman
Address		59 Gilmore Place, Edinburgh. EH3 9NT.
Project		Change of Use from House to Short Term Visit Accommodation
Title		First Floor Plan
Scale: 1:50		Dwg. No. 640/03 Date: Sep. 2021
STUART HANNAH		Architectural Services
9 Bonaly Brae, Edinburgh.		EH13 0QF
Tel: 07960 407 712		stuarthannah12 @yahoo.com



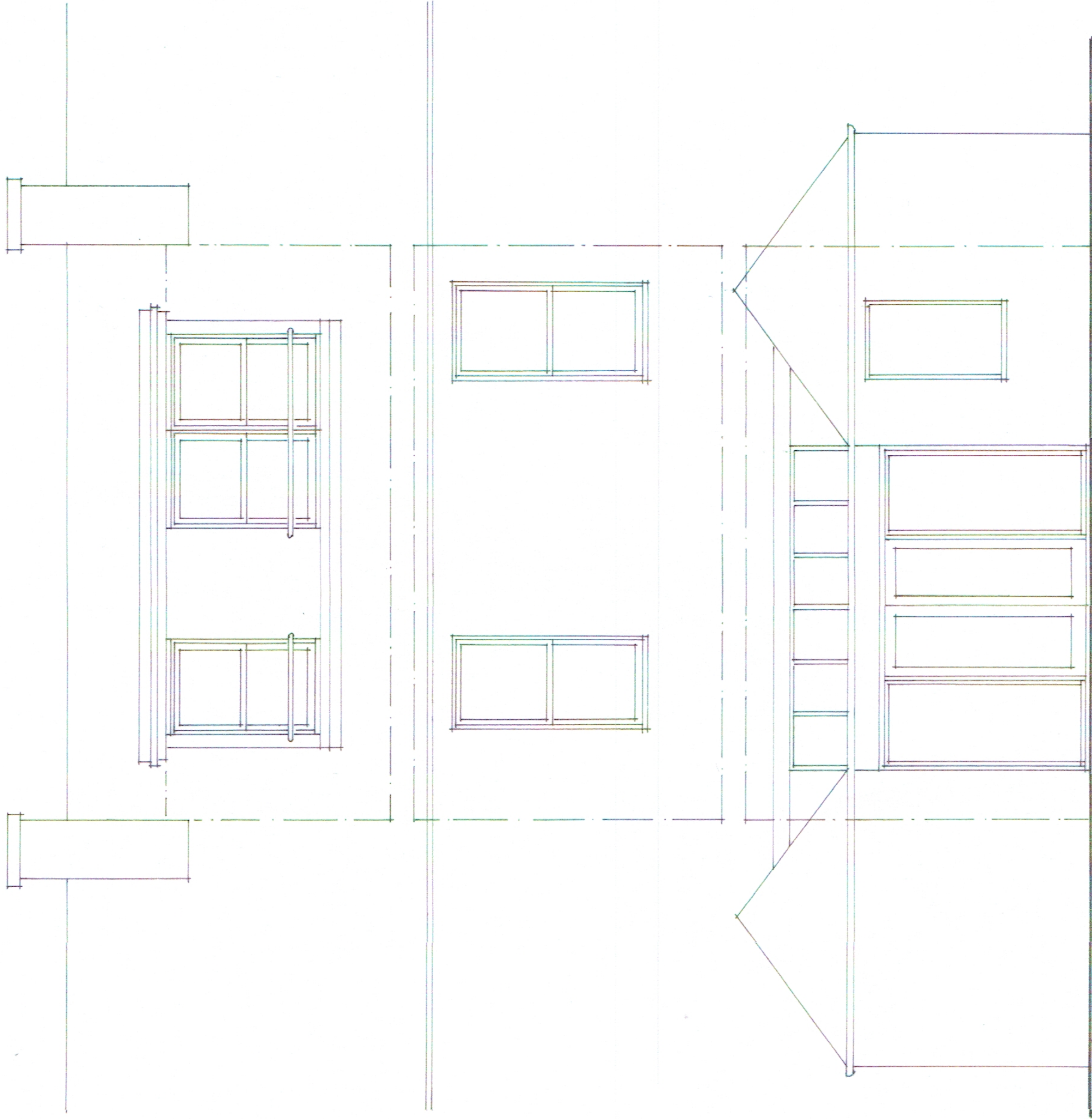
Second Floor Plan

Rev.	Date	Amendment
Client Mr. Shamim Rahman		
Address 59 Gilmore Place, Edinburgh. EH3 9NT.		
Project Change of Use from House to Short Term Visit Accommodation		
Title Second Floor Plan		
Scale: 1:50 Dwg. No. 640/04 Date: Sep. 2021		
STUART HANNAH Architectural Services 9 Bonaly Brae, Edinburgh. EH13 0QF		
Tel: 07960 407 712 stuarthannah12@yahoo.com		



North Elevation

Rev.	Date	Amendment
Client	Mr. Shamim Rahman	
Address	59 Gilmore Place, Edinburgh. EH3 9NT.	
Project	Change of Use from House to Short Term Visit Accommodation	
Title	North Elevation	
Scale: 1:50	Dwg. No. 640/05	Date: Sep. 2021
STUART HANNAH Architectural Services		
9 Bonaly Brae, Edinburgh. EH13 0QF		
Tel: 07960 407 712 stuarthannah12@yahoo.com		



South Elevation

Rev.	Date	Amendment
Client	Mr. Shamim Rahman	
Address	59 Gilmore Place, Edinburgh. EH3 9NT.	
Project	Change of Use from House to Short Term Visit Accommodation	
Title	South Elevation	
Scale: 1:50	Dwg. No. 640/06	Date: Sep. 2021
STUART HANNAH Architectural Services		
9 Bonaly Brae, Edinburgh. EH13 0QF		
Tel: 07960 407 712 stuarthannah12@yahoo.com		